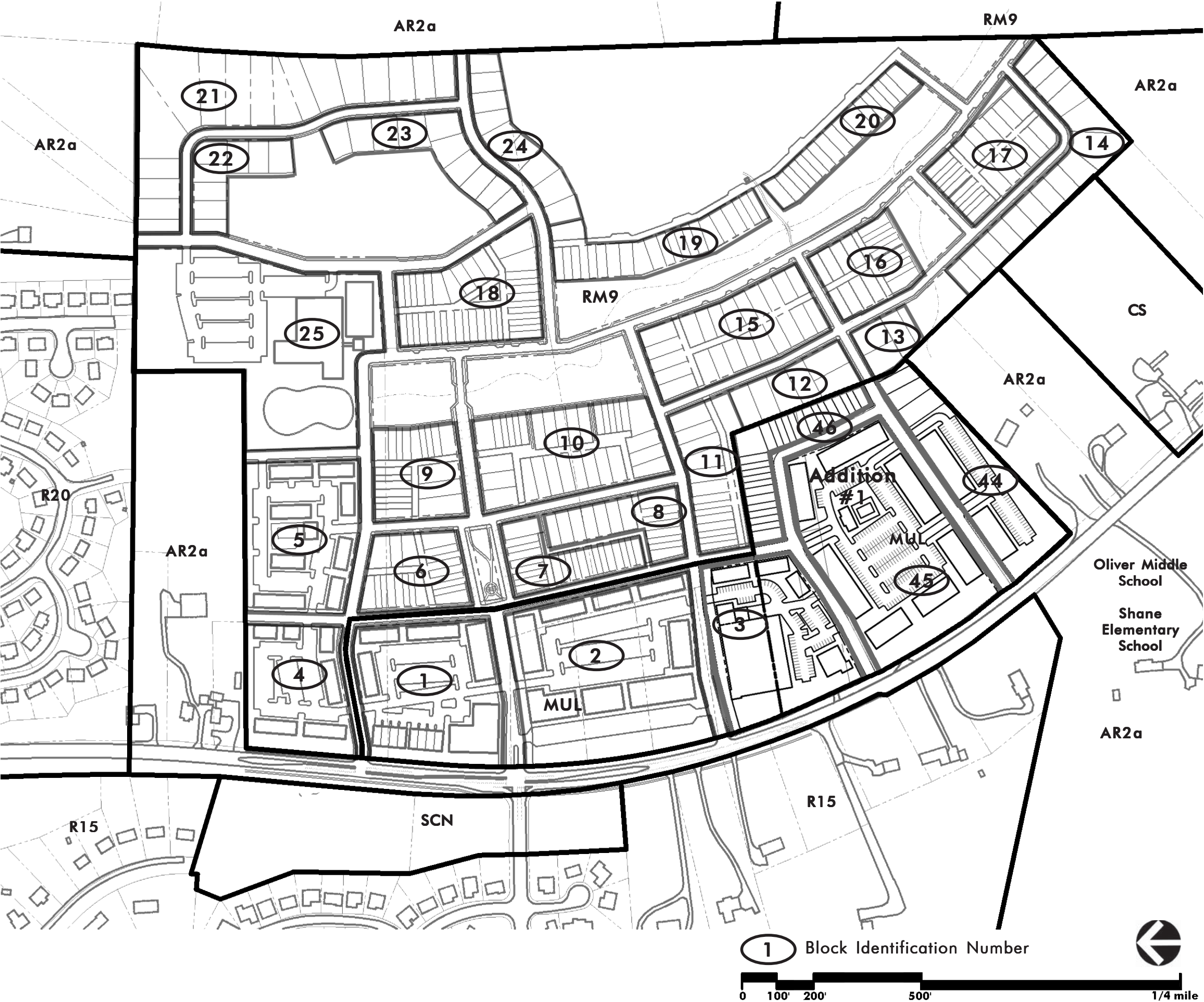


LENOX VILLAGE
NASHVILLE, TENNESSEE
REGENT DEVELOPMENT, LLC

Regulating Plan & Appendix



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Regulating Plan

Total UDO Area: 208.04 acres
MUL Area: 35.43 acres
RM9 Area: 159.47 acres
RS10 Area: 13.14 acres
Total Maximum Residential Units (not including secondary dwellings): 1400 (includes multi-family and all single family attached and detached unit types; does not include residential units in live/work and village core buildings)
Maximum Multi-Family Units (not including Townhouses-Single Family Attached): 500
Open Space: Minimum 1 acre per 30 dwelling units.

- Notes:**
- The street and block layout illustrated on this plan are conceptual. Final construction plans may deviate from this layout as necessary to comply with required engineering standards and to make adjustments to market conditions.
 - Right-of-way dedication for future widening of Nolensville Pike shall be included on any final plat involving property that fronts Nolensville Pike in an amount sufficient to provide one half of the right-of-way required by the adopted major street plan in effect at the time the plat is filed for approval plus any additional right-of-way needed to accommodate left turn lanes at the three proposed intersections with Nolensville Pike.
 - Any final plat involving construction of segments of streets C or F that intersect Nolensville Pike shall provide for construction at developer's expense of the left turn lanes from Nolensville Pike and, in the case of street F, shall provide for the required pedestrian signal and crosswalk improvements.
 - If the Tennessee Department of Transportation approves the construction of a landscaped median in Nolensville Pike along the portion of the Pike that abuts Lenox Village, an agreement shall be negotiated between Metropolitan Government and the developers of properties along both sides of the affected section of Nolensville Pike to determine the proportionate sharing of design and construction cost among the developers along both sides. Final plats described above and for the frontage properties on the west side of Nolensville Pike shall provide for construction of the TDOT approved median at the negotiated proportionately shared expense of developers on both sides of the affected section of Nolensville Pike. The cost share for any one development for landscaping and irrigation shall not exceed \$40,000 (in year 2001 dollars).
 - The existing signal at Bradford Hills Drive shall be improved with pedestrian signals and the intersection shall be provided with ADA compliant cross walks across Nolensville Pike and the entrance road to Lenox Village.
 - Streets that are shown on the Street Network Design Plan for possible future extension to connect with streets on adjoining property shall, in the case of connection to existing streets, be connected at the time of construction only if Metropolitan Council has approved the connection.

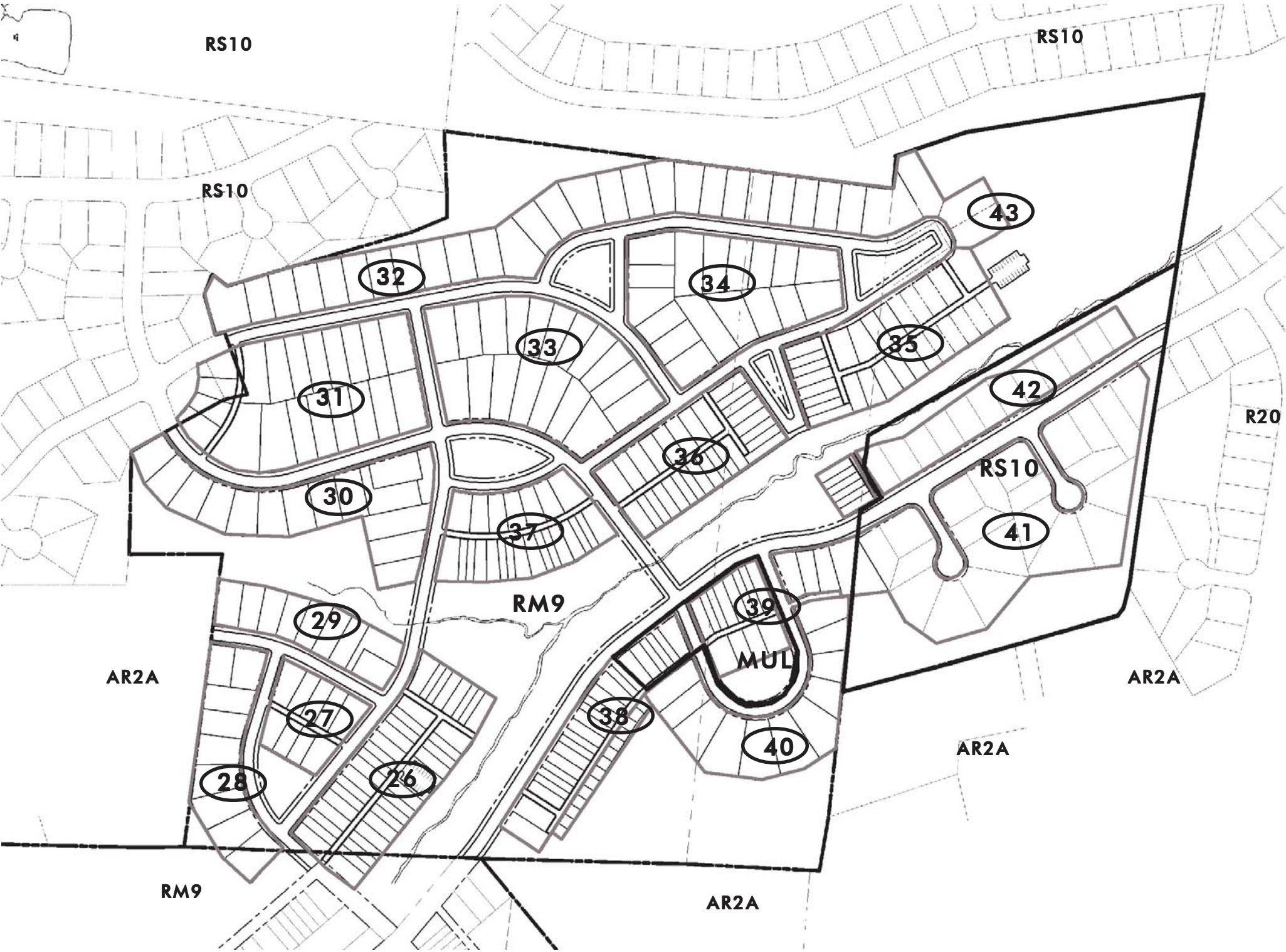
LENOX VILLAGE

NASHVILLE, TENNESSEE

REGENT DEVELOPMENT, LLC

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Regulating Plan
Addition #2



SECTION A: LENOX VILLAGE URBAN DESIGN OVERLAY BULK STANDARDS. The bulk standards for the Lenox Village Urban Design Overlay (UDO) area that vary from the underlying base zone district standards are presented in this section. General provisions are listed first, followed by Table A-1 in which bulk standards are presented by building type within the UDO.

- 1) **GENERAL PROVISIONS.** The bulk standards that apply broadly within the UDO are as follows.
- a) **APPLICABILITY OF BASE ZONING DISTRICT STANDARDS:** Base district bulk standards that are not varied by provisions set forth in this section shall apply within the Lenox Village UDO.
 - b) **FLOOR SPACE EXEMPTION FOR PARKING:** Floor space designed for parking, including excess parking not required by the zoning ordinance, shall not be included in the calculation of floor area ratio.
- 2) **TABLE OF BULK STANDARDS AND PARKING REQUIREMENTS BY BUILDING TYPE.** The bulk standards that apply variably by building type within the UDO are presented in Table A-1.
- 3) **SUPPLEMENTAL STANDARDS.** The bulk standards that are not variations to the bulk standards of the Zoning Regulations to Title 17 of the Code of Metropolitan Government of Nashville and Davidson County Tennessee are listed in Table A-2.

**TABLE A-1
BULK STANDARDS BY BUILDING TYPE:
LENOX VILLAGE UDO**

BULK STANDARD/ PARKING STANDARDS	VILLAGE CORE BUILDING TYPE I	LIVE/WORK BUILDING BUILDING TYPE II	MULTI-FAMILY BUILDING TYPE III
Front Yard Set Back from Front Property Line	Where buildings directly front the public right of way, 80% of the front facade must be built to the front property line ^a ; where buildings front common areas (e.g. sidewalks, parking, open space), 80% of the front facade must be built to the back of the proposed sidewalk. ^c	Where buildings directly front the public right-of-way, 80% of the front façade must be built to within 0 ft. and 15 ft. of the front property line; where buildings front common areas (e.g. sidewalks, parking, open space), 80% of the front façade shall be built to within 0 ft. and 15 ft. of the back of the proposed sidewalk.	Where building directly front the public right of way, 80% of the front facade must be built to between 5 ft. and 10 ft. from the front property line; where buildings front common areas (e.g. sidewalks, parking, open spaces) 80% of the front facade must be built between 5ft.and 10ft. from the back of the proposed sidewalk
Side Yard Setback	None Required		10 ft.
Rear Yard Setback	None Required		
Maximum Building Height	4 stories ^b	4 stories ^b	
Slope of Height Control Plane	None Required		
Max ISR	None Required		

^a Non-occupiable portions of a building, such as towers, may exceed the maximum allowable building height by a maximum of 20 percent. Where pitched roof is used, the maximum roof pitch shall be 9/12.

^b APPLICABILITY OF BUILDING HEIGHT. Non-occupiable portions of a building, such as towers, may exceed the maximum allowable building height by a maximum of twenty 20% percent. Height shall be measured to the top of the parapet at the build-

to-line for Building Type I. Where pitched roof is used, height for Building Type I shall be measured to the mean height of the roof and the maximum roof pitch shall be 9/12.

^c FRONT YARD SETBACK FROM NOLENSVILLE PIKE: For buildings front Nolensville Pike, 80% of the front façade shall be built between 5 ft. and 20 ft. of the front property line.

**TABLE A-1 (Continued)
BULK STANDARDS BY BUILDING TYPE:
LENOX VILLAGE UDO CONTINUED**

BULK STANDARD	TOWNHOUSE SINGLE FAMILY ATTACHED REAR ACCESS BUILDING TYPE IV	SINGLE FAMILY DETACHED ALLEY REAR ACCESS BUILDING TYPE V	SINGLE FAMILY DETACHED STREET ACCESS BUILDING TYPE VI	CIVIC INSTITUTIONAL
Front Yard Set Back from Front Property Line	Minimum: 5 ft. Maximum: 15 ft.	Minimum: 5 ft. Maximum: 25 ft.	Minimum: 5 ft. Maximum: 25 ft.	Set by design review
Minimum Side Yard Setback	End Units: 5 ft.*	3 ft.		
Minimum Rear Yard Setback	5 ft.		10 ft.	
Minimum Lot Area	1,080 square feet	3,600 square feet	4,000 square feet	
Garage Setback	Garages must be setback from the rear property line either 5 ft. or greater than 15 ft.; garages on parcels at the end of a block must have a garage building which is built to 5 ft. from the rear property line.	Garages must be setback from the rear property line 5 ft. or greater than 15 ft.; garages on parcels at the end of a block must have a garage building which is built to 5 ft. from the rear property line.	Garages must be recessed a minimum of 15 ft. from the front facade or porch. The back of parking pads must be recessed a minimum of 15 ft. from the front facade or porch.	Not Applicable
Driveway Width	No Requirement		12 feet maximum where they cross the front property line	Set by design review
Maximum Building Height	35 ft. to mean height of pitched roof			
Slope of Height Control Plane	Not Required			

* See Table A-2 on page 3 of 5 for maximum number of units per building.

TABLE A-2
SUPPLEMENTAL BULK STANDARDS BY BUILDING TYPE:
LENOX VILLAGE UDO

SUPPLEMENTAL REQUIREMENTS	VILLAGE CORE BUILDING TYPE I	LIVE/WORK BUILDING BUILDING TYPE II	MULTI-FAMILY BUILDING TYPE III
Required Length of Street Wall	80 % of front facade (architectural projections and recesses up to 2ft. deep are permitted)		
Minimum Lot Width at Front Setback	None Required		
Minimum Lot Depth	None Required		
Minimum Lot Area	None Required		
Minimum First Floor Height	14 ft. measured from finished floor to floor (floor to roof for one story buildings)	14 ft. measured from finished floor to floor if the ground floor is commercial	None Required
Minimum Building Height	20 ft.	2 stories	2 stories
Minimum Raised Foundation	None Required		12”

TABLE A-2 (Continued)
SUPPLEMENTAL BULK STANDARDS BY BUILDING TYPE:
LENOX VILLAGE UDO

SUPPLEMENTAL REQUIREMENTS	TOWNHOUSE SINGLE FAMILY ATTACHED REAR ACCESS BUILDING TYPE IV	SINGLE FAMILY DETACHED ALLEY REAR ACCESS BUILDING TYPE V	SINGLE FAMILY DETACHED STREET ACCESS BUILDING TYPE VI	CIVIC/ INSTITUTIONAL
Required Length of Street Wall	Not Required			Set by design review
Minimum Lot Width at Front Setback	18 ft.	36 ft.	50 ft.	
Minimum Lot Depth	90 ft.	100 ft.		
Maximum Units Per Building	10	See Supplemental Standards Section H		
Minimum Raised Foundation	18” - except where front building wall is 10' feet or less from property line it shall be 24"			Set by design review
Minimum Building Height	Not Applicable			
Minimum First Floor Height	Not Applicable			

Minimum Porch Depth	6 Feet Exception: where porch width is approximately the same as the porch stairs, no minimum applies	
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SECTION B: LENOX VILLAGE-VILLAGE CORE UDO FAÇADE STANDARDS.

1) GENERAL PROVISIONS. The façade standards that apply to the UDO are presented by building type in Table B-1.

TABLE B-1
FACADE STANDARDS BY BUILDING TYPE:

FACADE STANDARD	VILLAGE CORE BUILDING TYPE I	LIVE WORK BUILDING TYPE II	MULTI-FAMILY BUILDING TYPE III
Massing Standards	The width of any unbroken facade plane may not exceed the building height	None Required	The width of any unbroken facade plane may not exceed the building height
Window Systems	Window systems shall not exceed twenty-five (25) feet in width without being interrupted by another building material	None Required	
Public Entrances	A main building entrance shall be provided along all public streets. All doors which front public streets shall be fully glazed, with the exception of doors which are egress only.	None Required	
Materials	Vinyl siding products are prohibited on the exterior of buildings. Exterior Insulation and Finishing Systems (E.I.F.S.) are prohibited.	Vinyl siding products are prohibited on the exterior of buildings. Exterior Insulation and Finishing Systems (E.I.F.S.) are prohibited.	Vinyl siding products are prohibited on the exterior of buildings. Exterior Insulation and Finishing Systems (E.I.F.S.) are prohibited.
Glazing of Facades at Street Level	Minimum 40% of first floor facades facing public streets ^a Maximum 3 ft. sill height Minimum 10 ft. window head height.	None Required	

^a GLAZED AREA CALCULATION: The first floor glazed area calculation shall be based on the façade area measured to a height of fourteen (14) feet above grade.

SECTION C: LENOX VILLAGE UDO PARKING AND ACCESS STANDARDS. Parking standards for the Lenox Village UDO that vary from the underlying base zone district standards are presented in this section. General provisions are listed first, followed by Table C-1 in which parking standards are presented by building type within the UDO.

- 1) GENERAL PROVISIONS. The parking standards that apply broadly within the UDO are as follows.
- a) EXEMPTION FROM VISIBILITY PROVISION. Development within the UDO shall be exempt from the "visibility triangle" provisions as set forth in Section 17.20.180 of the zoning code.
 - b) PARKING STRUCTURE FACADE: The exterior facade of parking structures facing public streets shall be covered with architectural cladding.
 - c) PARKING STRUCTURE DESIGN: The following are design requirements for parking structures
 - 1. Parking structures must be disguised to have the visible appearance of surrounding climate controlled buildings;
 - 2. Parking structures shall conceal automobiles from being visible from the street; and,
 - 3. Parking structures shall have the appearance of a horizontal storied building.
 - d) STREET LEVEL LEASABLE FLOOR SPACE IN PARKING STRUCTURES:
 - i) Parking decks located at street level and fronting public streets shall have no less than one hundred percent (100%) of the lineal street frontage, exclusive of access drives, stairs and elevators, and pedestrian passages, devoted to retail/service uses at a minimum depth of twenty (20) feet.
- 2) TABLE OF PARKING STANDARDS. The parking standards that apply variably by building type within the UDO are presented in Table C-1.

TABLE C-1
PARKING STANDARDS VILLAGE CORE BUILDING TYPE I

PARKING STANDARD	VILLAGE CORE BUILDING TYPE I
Restriction on Parking in Front Setback Area	No parking allowed between the building and the street
Parking Lot Screening on Public Streets	Shade trees are required at a minimum spacing of one per 30 ft. of street frontage. Lots shall be screened along all public streets by a minimum 2 ½ ft. high year-round, visually impervious screen. ^a
Bicycle Parking	One bicycle parking space for every 10 automobile parking spaces; No fewer than 3 and no more than 50 bicycle/moped parking spaces; spaces located within a maximum distance of 100 feet of the building entrance, or shall be located at least as close as the closest automobile spaces, except for handicapped parking spaces; and, a metal anchor will secure the frame.
Drive-Thru Service	All views of drive-thru service shall be hidden from view from the public right-of-way.

^a SPECIES AND MINIMUM PLANTING STRIP. Trees required for screening purposes shall be located in planting strips that are a minimum of six (6) feet in width. Species must be from the approved Urban Forestry Plant List or approved by Planning Department staff in accordance with Urban Forester recommendations.

3. TABLE OF PARKING REQUIREMENTS. The parking requirements that apply in the UDO are listed in table C-2 by building type.

Table C-2
PARKING REQUIREMENTS
BY BUILDING TYPE

PARKING REQUIREMENTS BY BUILDING TYPE	VILLAGE CORE BUILDING TYPE I	LIVE/WORK BUILDING BUILDING TYPE II	MULTI-FAMILY BUILDING TYPE III
Parking Spaces Required	None Required		

Table C-2
PARKING STANDARDS
BY BUILDING TYPE
CONTINUED

PARKING REQUIREMENTS BY BUILDING TYPE	TOWNHOUSE BUILDING TYPE IV	SINGLE FAMILY DETACHED ALLEY ACCESS BUILDING TYPE V	SINGLE FAMILY ATTACHED STREET ACCESS BUILDING TYPE VI	CIVIC/ INSTITUTIONAL
Parking Requirements	Two parking spaces per unit plus one parking space per secondary dwelling shall be provided. Tandem parking behind a garage space shall be permitted toward meeting these requirements. Parking and garage access shall be from a rear alley or lane.	Two parking spaces per unit plus one parking space per secondary dwelling shall be provided. Tandem parking behind a garage space shall be permitted toward meeting these requirements. Parking and garage shall be from a rear alley or lane.	Two parking spaces per unit plus one parking space per secondary dwelling shall be provided	Set by design review

SECTION D: LENOX VILLAGE UDO SIGN STANDARDS. Sign standards for the Lenox Village UDO that vary from the underlying base zone district standards are presented in this section.

- 1) GENERAL PROVISIONS. The sign standards that apply broadly within the UDO are as follows.
- a) SIGNS NOT PERMITTED: In addition to signs prohibited in the base zoning district, on-premise temporary signs, pole signs, billboards, and ground mounted commercial signs in a commercially zoned area shall not be permitted and no permitted signs shall extend above an eave line or parapet.
 - b) LIMITATION ON LIGHTING: Lighted signs shall be either spotlighted, externally lit, or back-lit with a diffused light source.
 - c) PLACEMENT OF SIGNS: Signs, other than those on windows, shall be placed so as not to obscure key architectural features or door or window openings.
 - d) SIGNS NOT PERMITTED: All signs are prohibited unless listed in Table D-1 (Sign Standards: Lenox Village UDO)

2) TABLE OF SIGN STANDARDS. The sign standards for individual permanent on-premise signs permitted within the UDO are presented in Table D-1.

**TABLE D-1
SIGN STANDARDS:
LENOX VILLAGE UDO**

PERMANENT ON-PREMISE SIGN STANDARD	SETBACK	HEIGHT	DISPLAY SURFACE AREA OF INDIVIDUAL SIGNS
Applied Letter Signs: Individual letters applied directly to a façade.	Not Applicable		Maximum 5% of the façade area or 30 sq. ft., whichever is smaller
Awning Signs: Sign with letters/logo painted, silk screened or stitched directly onto a building awning.	Not Applicable		Maximum signed-area of 5% of the primary building façade, not to exceed 85% of the awning area
Facade Mounted Signs: Signs mounted directly on a building facade.	Not Applicable	Shall not extend above roof eaves or parapet.	Maximum 5% of the façade area or 30 sq. ft., whichever is smaller
Facade Painted Signs: Signs painted directly on a building façade.	Not Applicable		Maximum 20% of the façade area or 60 sq. ft., whichever is smaller
Window Sign: Sign which is attached to, painted on, or readily visible through a window.	Not Applicable		Maximum 25% of window area
Projecting Signs: Sign extending perpendicular from a facade. ^a	Not Applicable	Minimum 7 ft. above grade Shall not extend above roof eaves or parapet. Signs shall not exceed 3 feet in width	Maximum 20 sq. ft.
Object Signs: Two or three dimensional signs replicating an object associated with a business. ^a	Not Applicable	Minimum 7 ft. above grade Shall not extend above roof eaves or parapet.	Maximum 27 cubic ft.

^a Any sign or portion of a sign which encroaches on the public right-of-way must meet Metro Nashville Government standards and be approved under mandatory referral procedures.

SECTION E: LENOX VILLAGE UDO LANDSCAPING, BUFFERING, AND TREE REPLACEMENT. Landscaping for the Lenox Village UDO that vary from the underlying base zone district standards are presented in this section.

1. GENERAL PROVISIONS. The landscape standards that apply broadly within the UDO are as follows:
- a) The landscape buffer yard requirements between zoning districts in the Lenox Village UDO are waived.

SUPPLEMENTAL STANDARDS

SECTION F: OPEN SPACE REQUIREMENTS: The following are minimum open space requirements for the Lenox Village UDO.

- a) Each resident shall have access to a park or open space located within 1,320 feet or a 5 minute walk.
- b) Open space shall be provided at a rate of 1 acre for every 30 dwelling units.
- c) Open space shall be protected against building development and environmental damage by conveying to the city, homeowners' association and/or a land trust, an open space easement restricting the area in perpetuity against any future

building, and against the removal of soil, trees and other natural features, except as the Planning Commission determines is consistent with conservation or recreational purposes.

- d) Provisions shall be made to ensure that no more than 20 percent of the common open space will be devoted to paved areas and structures such as courts, or recreation buildings. Parking lots shall not to be located within or along the side of a street bordering parks, greens and squares. On-street parking should not be located within or along the side of a street bordering parks, greens and squares.

SECTION G: ARCHITECTURAL STANDARDS. The covenants and restrictions shall establish architectural standards consistent with the guidelines and objectives of the Lenox Village Urban Design Overlay

SECTION H: LENOX VILLAGE PROPERTY OWNERS ASSOCIATION STANDARDS. The Covenants and Restrictions for all property within this Urban Design Overlay must be filed with the register of Deeds of Nashville/Davidson County by the owner and noted on a final plat(s) before a lot is sold or a building permit is issued.

A. Conditions, Covenants, and Restrictions must be approved by the Planning Department Director, Public Works Department Director, and the Law Department Director in order to verify that the following items are provided:

1. Create a property Owners' Association with mandatory membership for each property owner;
2. Establish architectural standards that are in conformity with the objectives and guidelines of this UDO;
3. Create a Design Review, led by the developer, process of all new construction for compliance with the architectural standards for the development;
4. Create a Modification Review Committee of residents to review changes to existing buildings;
5. Provide for ownership, development, and maintenance of private open spaces, community facilities, community meeting hall(s), community lighting and fixtures, community street furniture and fixtures, other common areas, and any other items listed as community maintenance responsibilities;
6. Provide for the maintenance of landscaping and trees within the streetscape;
7. Require a yearly updated listing of all community maintenance responsibilities;
8. Require the collection of assessments based on maintenance and replacement cost using an accepted inflation rate multiplied by the expected life of the instillation;
9. Be effective for a term of not less than fifty (50) years; and,
10. Require that the Property Owners' Association obtain the approval of the Parks Department, Public Works Department, and the Planning Department regarding the disposition and management of private open spaces, community parking facilities, community meeting hall(s), community lighting fixtures, community street furniture and fixtures, other common areas, and any other item listed as a community maintenance responsibility.

SECTION I: SECONDARY DWELLING. A secondary dwelling may be permitted for Building Types IV,V, and VI, on no more than 25% of the lots with a square footage not exceeding 600 square feet of conditioned space. The secondary dwelling may be attached or detached.

**Metropolitan Government of Nashville and Davidson County Planning Department
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